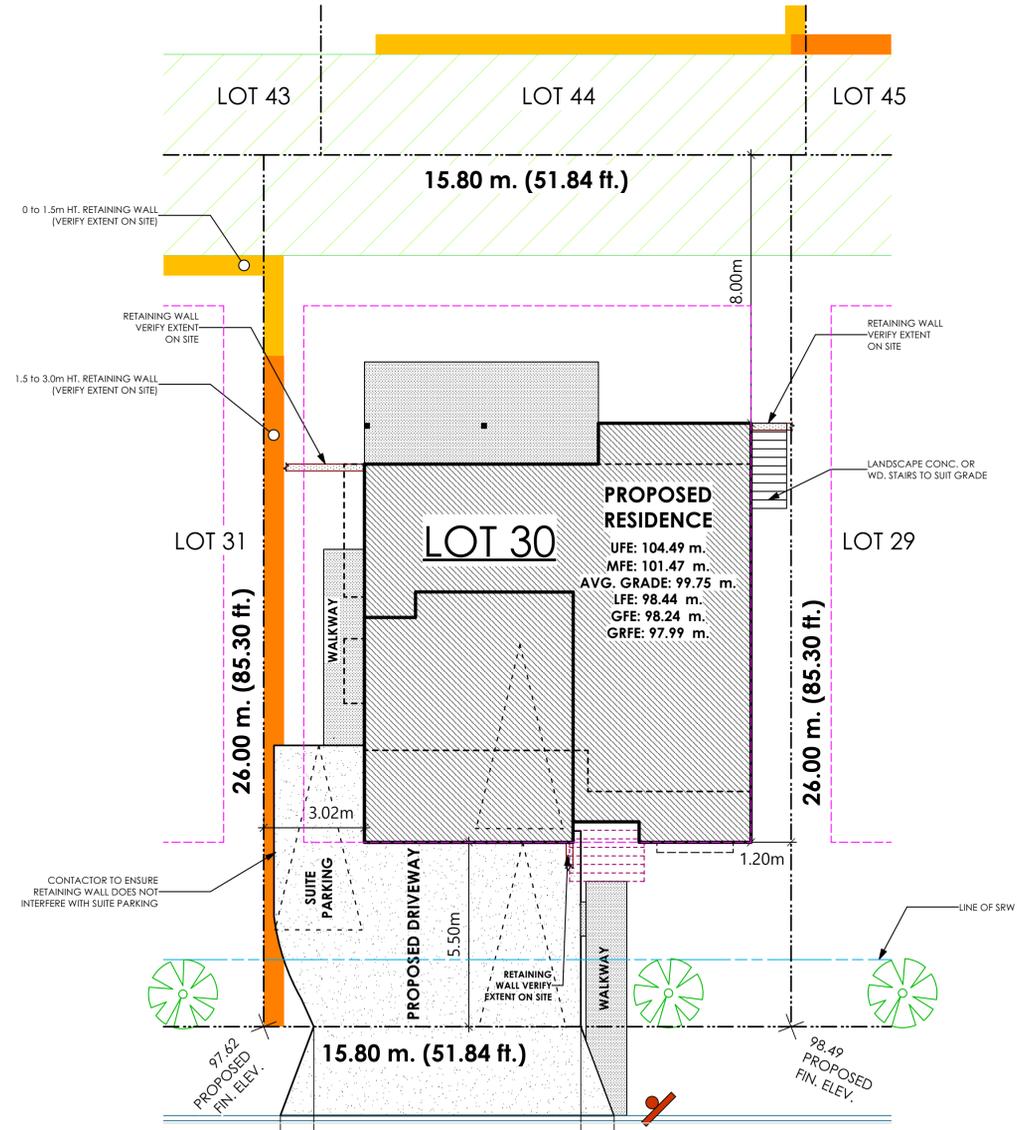


SKETCH PLAN OF PROPOSED LOT 30 LATORIA TERRACE



SITE DATA	R2	LOT 30
ITEMS	PERMITTED	PROPOSED
LOT AREA		410.80 sq.m.
LOT COVERAGE	50.00 %	34.94%
HEIGHT	9.00 m.	8.27 m.
SETBACKS		
- FRONT (SOUTH)	3.00 m.	5.50 m.
- REAR (NORTH)	5.50 m.	8.00 m.
- SIDE (WEST)	1.20 m.	3.02 m.
- SIDE (EAST)	1.20 m.	1.20 m.
- GARAGE (SOUTH)	5.50 m.	5.50 m.
FLOOR AREA		
- UPPER		98.76 sq.m.
- MAIN		118.81 sq.m.
- LOWER		86.57 sq.m.
- GARAGE		45.50 sq.m.
SUBTOTAL FLOOR AREA		349.64 sq.m.

LEGEND
Elevations are geodetic referred to Lanford Integrated Survey
 - denotes Green Space



ASHMORE TERR.

1
A2 **Site Plan**
Scale: 1:100

LIST OF DRAWINGS	
A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation & Lower Floor
A5	Main & Upper Floors
A6	Cross-Section
D1	Details
D2	Details

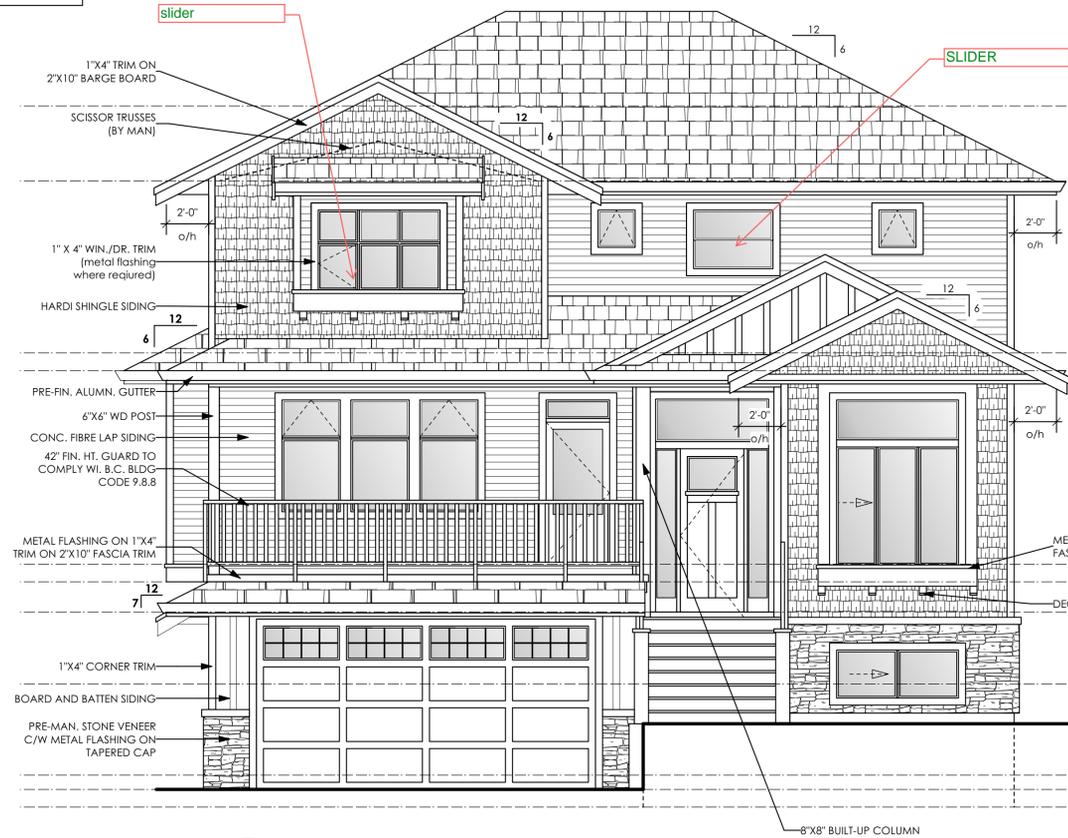
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 V9B 0A6 www.victoriadesigngroup.ca

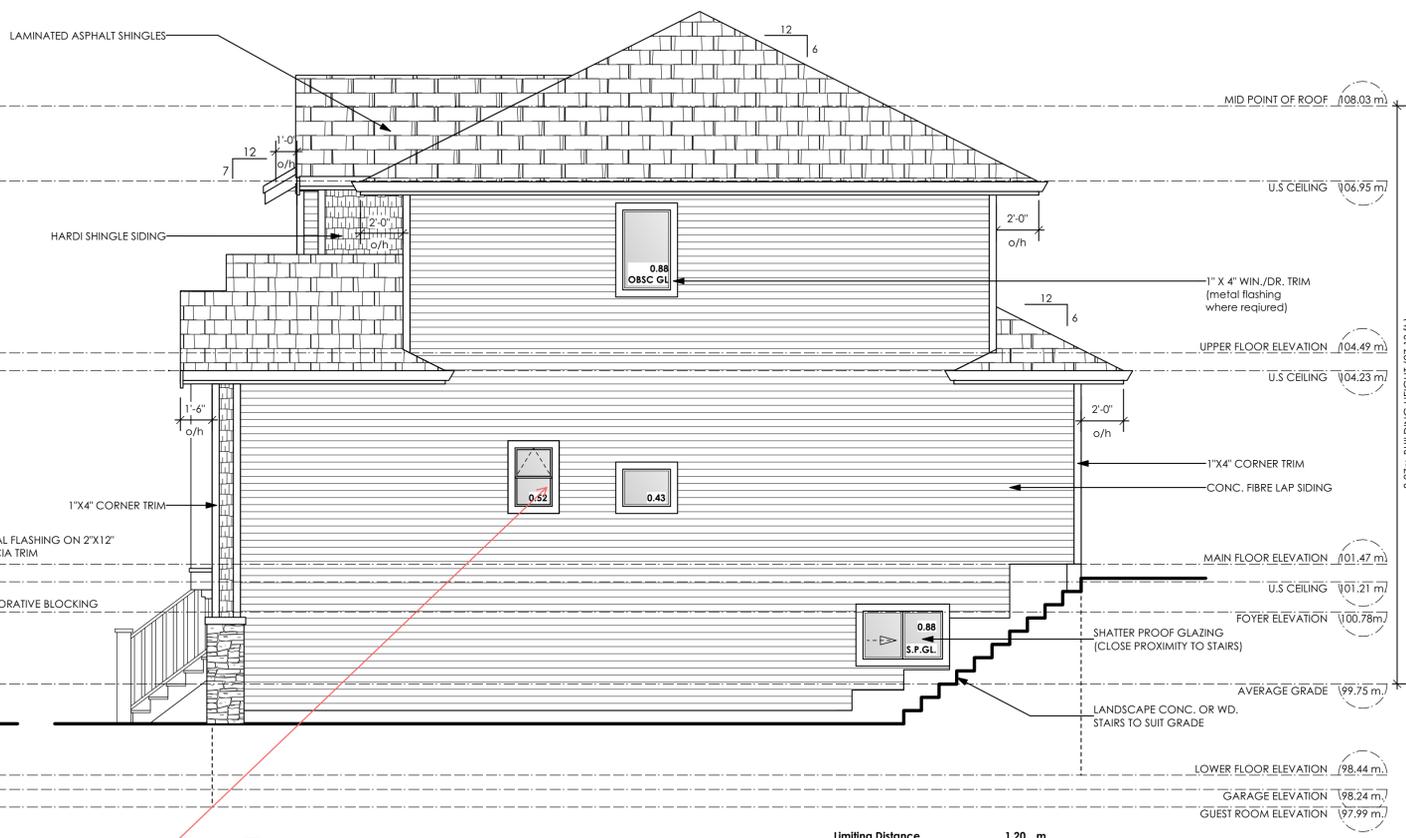
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SCALE	As Shown	SHT NO.	A2 OF A6

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 Proposed Residence:
 Langdon Weir Construction Ltd.
 Lot 30 'Richard'
 1231 Ashmore Terr.
 (Latoria Terrace)
 Langford, B.C.

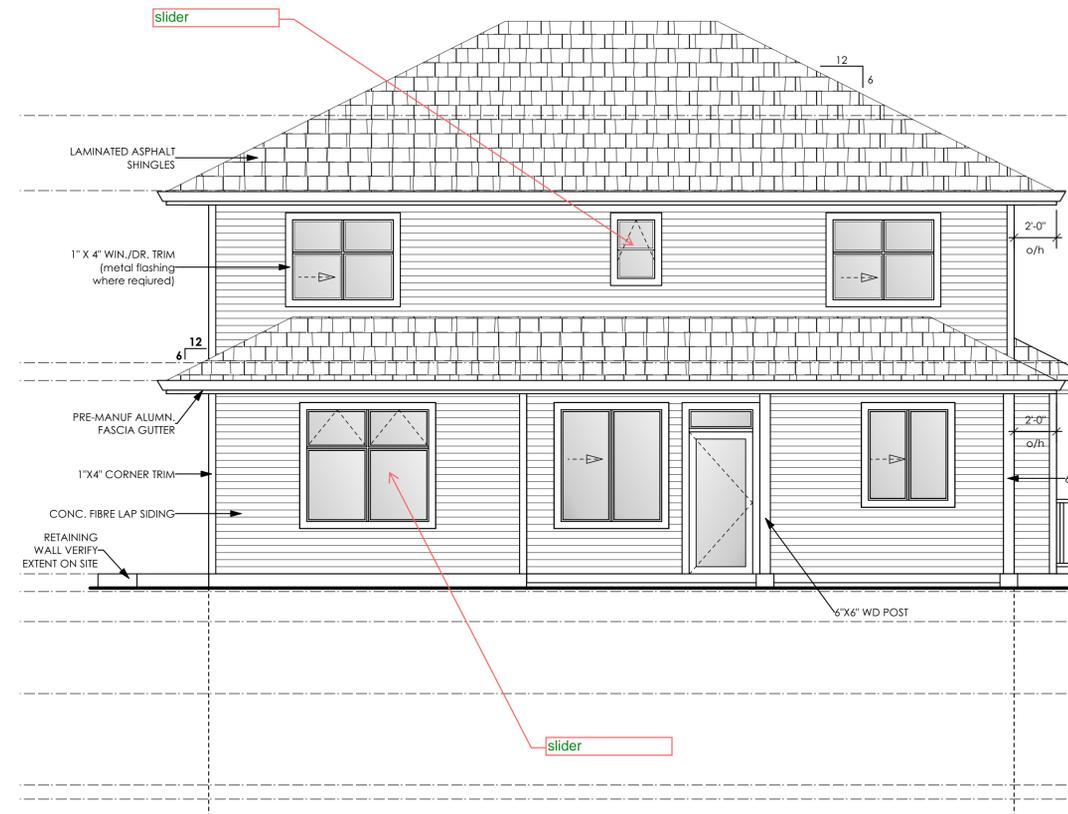


1
A3 **Front (S) Elevation**
Scale: 1/4" = 1'-0" **VERIFY WINDOW OPERATIONS WITH OWNER**

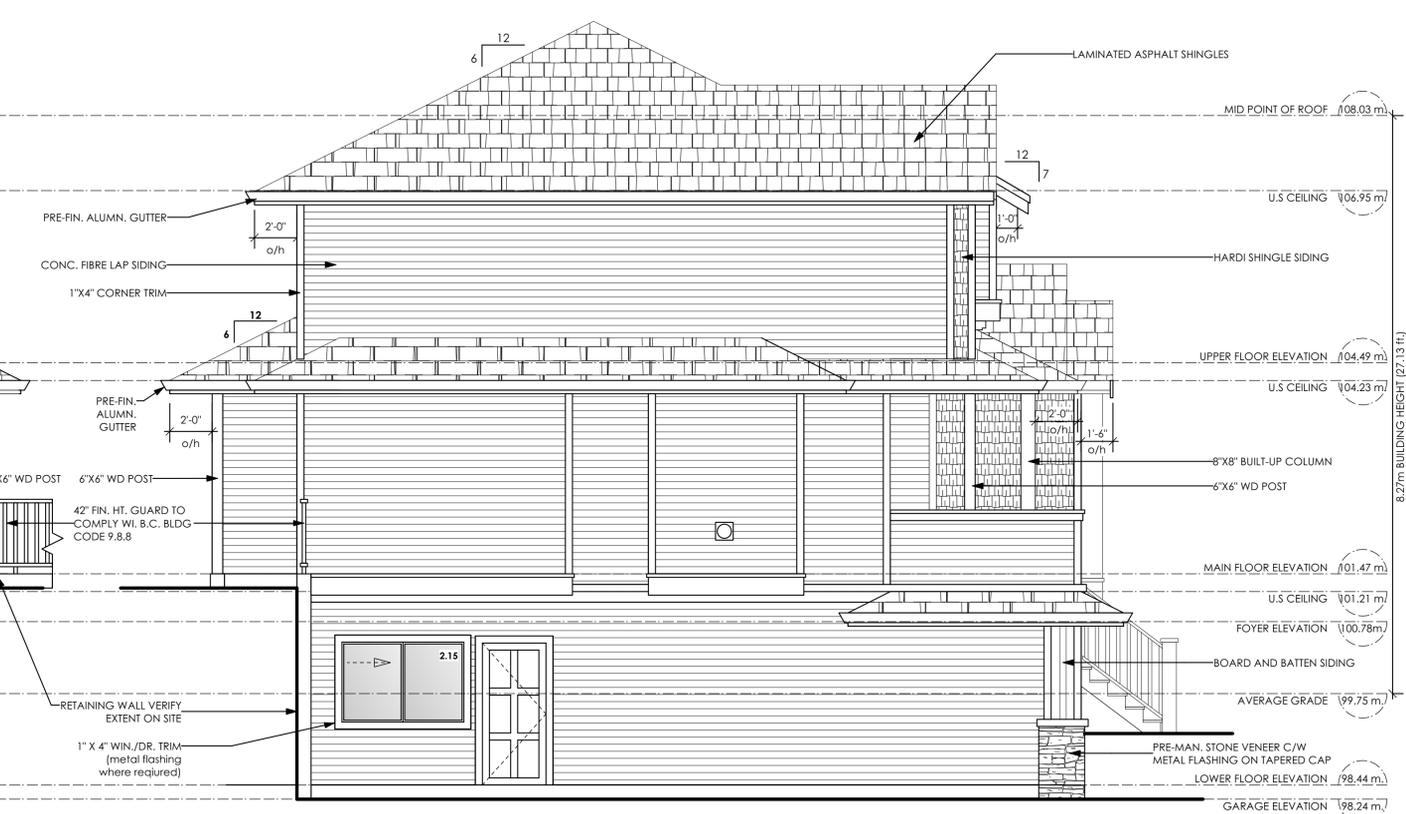


2
A3 **Right (E) Elevation**
Scale: 1/4" = 1'-0" **VERIFY WINDOW OPERATIONS WITH OWNER**

Limiting Distance	1.20 m.
Exposed Building Face	88.39 sq.m.
Allowable Openings	7 %
Allowable Opening Area	6.19 sq.m.
Proposed Openings	2.71 sq.m.



3
A3 **Rear (N) Elevation**
Scale: 1/4" = 1'-0" **VERIFY WINDOW OPERATIONS WITH OWNER**



4
A3 **Left (W) Elevation**
Scale: 1/4" = 1'-0" **VERIFY WINDOW OPERATIONS WITH OWNER**

Limiting Distance	3.02 m.
Exposed Building Face	86.36 sq.m.
Allowable Openings	9 %
Allowable Opening Area	8.42 sq.m.
Proposed Openings	2.15 sq.m.

LIST OF DRAWINGS	
A1	General Notes
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A4	Foundation & Lower Floor
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D2	Details

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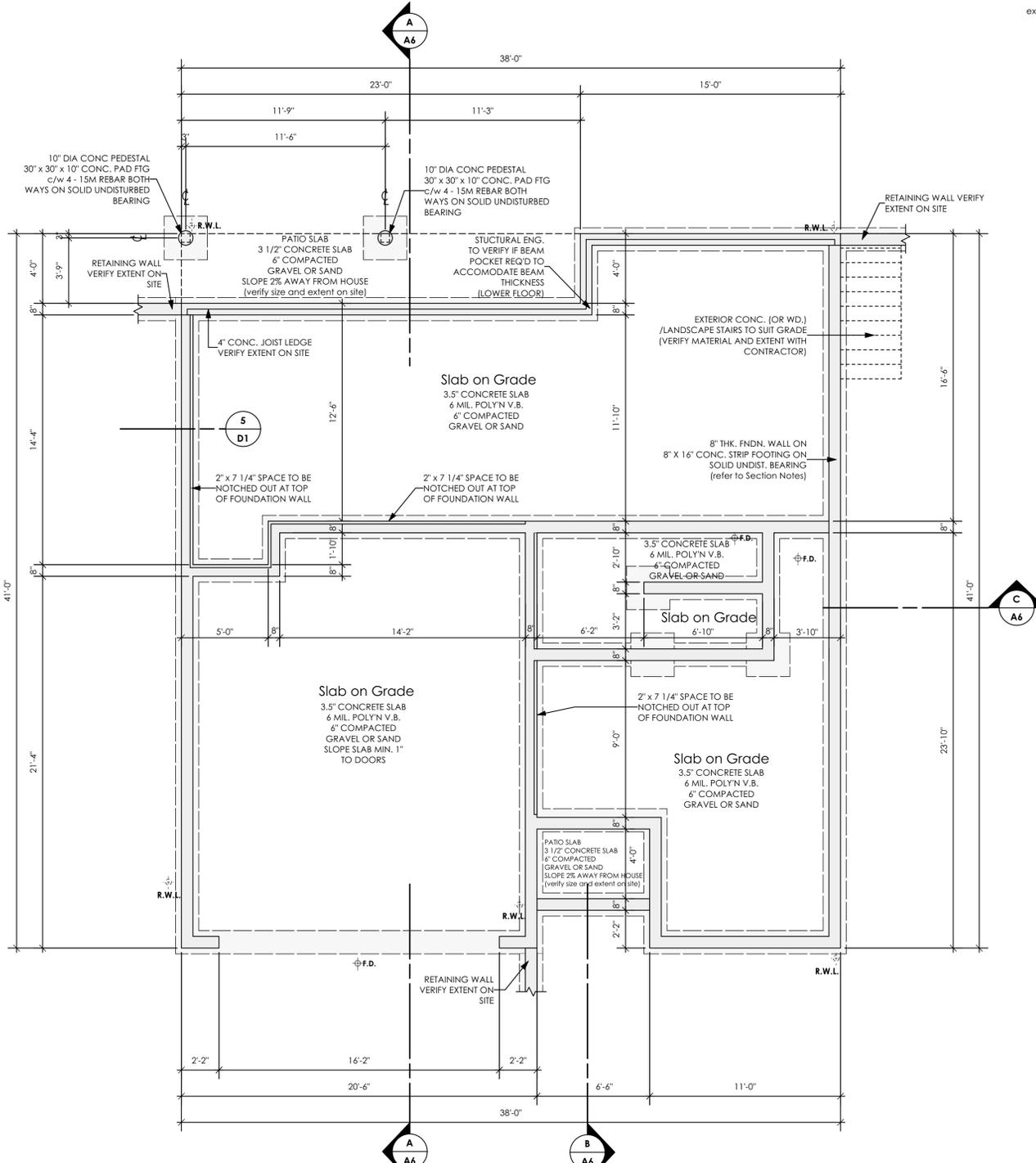
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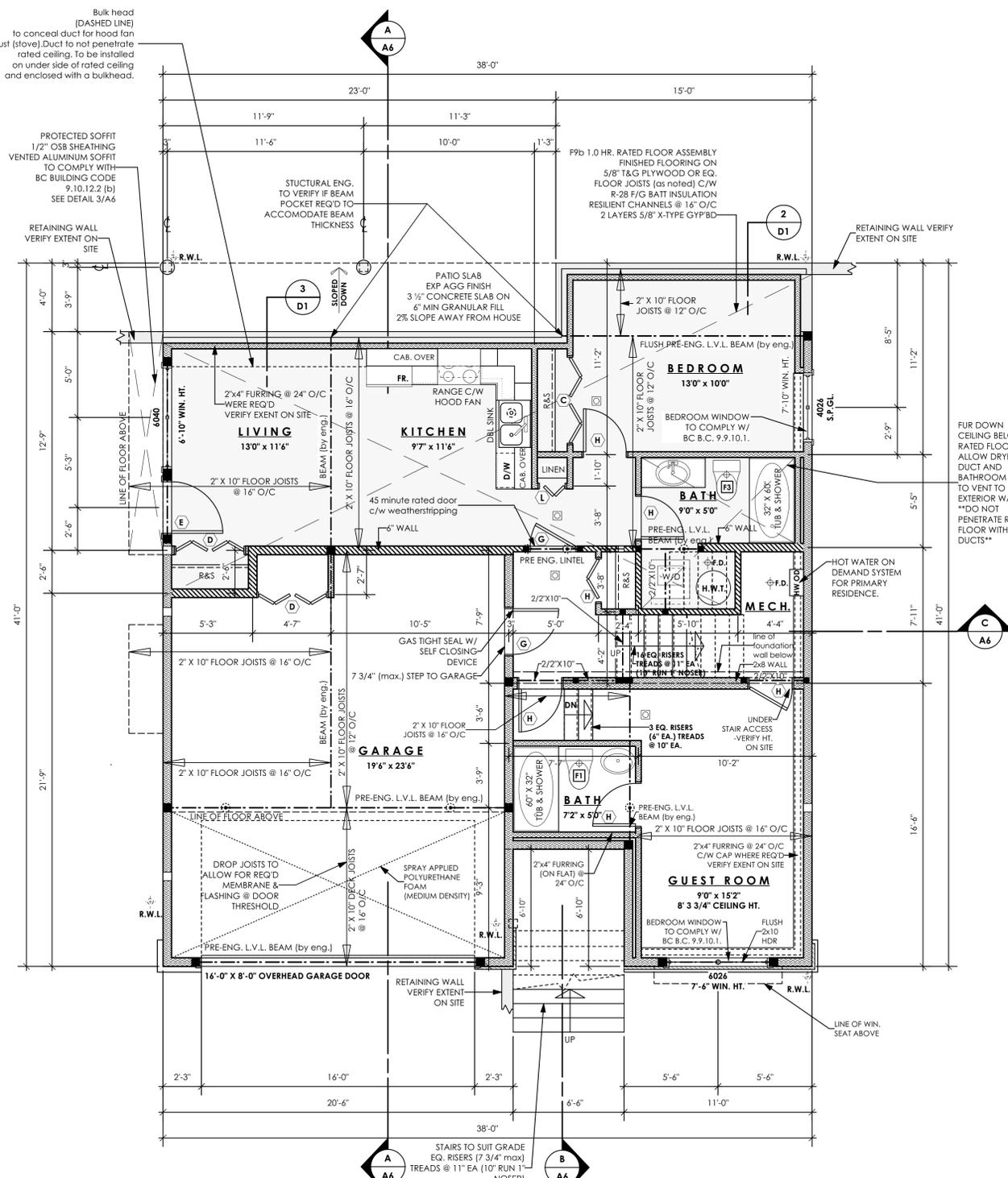
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CONTRACTOR TO REVIEW FOUNDATION DETAILS PRIOR TO FABRICATING CONCRETE FORMS.
SLAB ON GRADE PORTIONS REQUIRE 1 1/2" THERMAL BREAK AND 2" X 7/16" "KNOCKOUT" IN FOUNDATION WALLS.
CONTRACTOR TO VERIFY PLACEMENT OF RAIN WATER LEADERS (R.W.L.) PRIOR TO EXCAVATION



- MECHANICAL FAN(S) & VENT(S)**
- F1 BATHROOM FAN: 23 L/S (50 CFM) INTERMITTENT 9 L/S (20 CFM) CONTINUOUS
 - F2 PRINCIPAL EXHAUST FAN: 35 L/S (75 CFM) CONTINUOUS
 - F3 PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE: 23 L/S (50 CFM) INTERMITTENT 14 L/S (30 CFM) CONTINUOUS

REFER TO GENERAL NOTES

- 3 INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH BCBC 9.10.19. INTERCONNECTED CARBON MONOXIDE DETECTORS TO COMPLY WITH BCBC 9.32.4.2.
- 4 INTERCONNECTED PHOTOELECTRIC SMOKE ALARMS TO COMPLY WITH BCBC 9.10.14.5(2)(b) & 9.10.19.5(2)(b)

- SYMBOLS & WALL LEGEND**
- 2" X 4" INTERIOR & FURRING
 - 2" X 6" EXTERIOR & INTERIOR
 - RATED WALL (SEE ASSEMBLIES)
 - 8" THK. CONC. FOUNDATION WALL
 - 16" X 8" CONC. STRIP FOOTING

- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

WINDOWS & DOORS

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1. (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

- DOOR SCHEDULE**
- | | |
|---|--------------------------|
| F | 2'10" X 6'8" (34" X 80") |
| A | 8'0" X 6'8" (96" X 80") |
| B | 6'0" X 6'8" (72" X 80") |
| C | 5'0" X 6'8" (60" X 80") |
| D | 4'0" X 6'8" (48" X 80") |
| E | 3'0" X 6'8" (36" X 80") |
| G | 2'8" X 6'8" (32" X 80") |
| H | 2'6" X 6'8" (30" X 80") |
| J | 2'4" X 6'8" (28" X 80") |
| K | 2'0" X 6'8" (24" X 80") |
| L | 1'6" X 6'8" (18" X 80") |

LIST OF DRAWINGS

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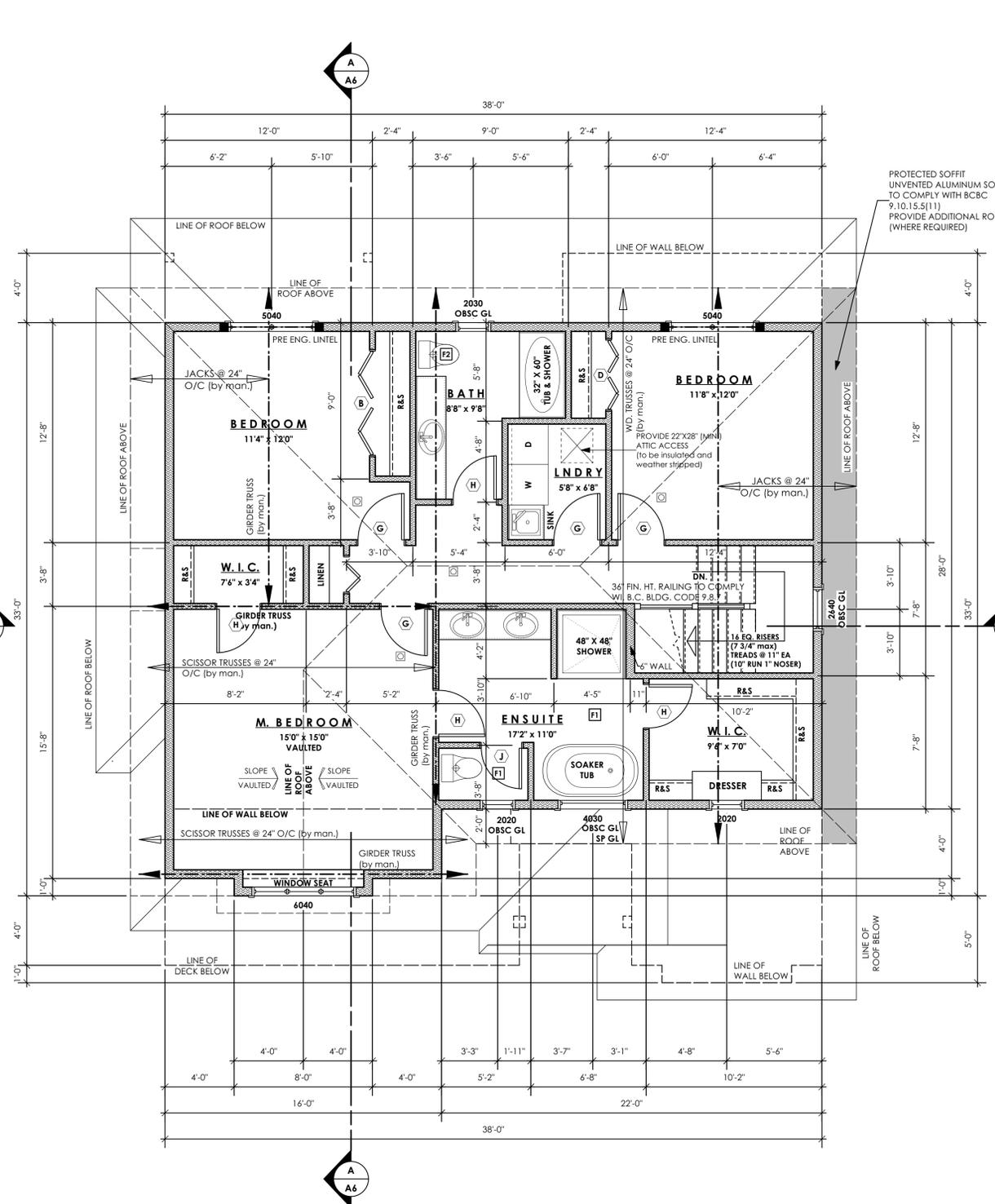
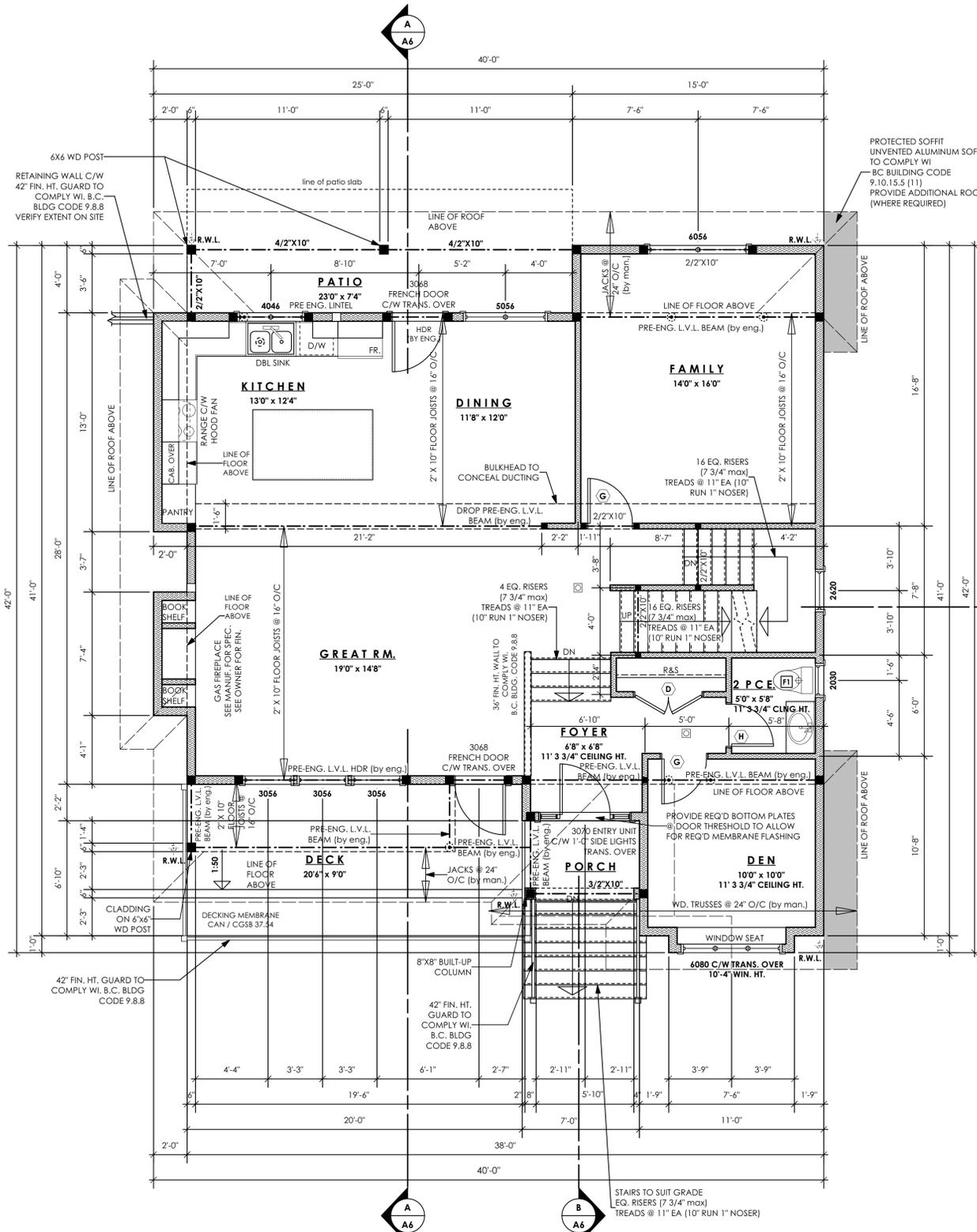
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- F3 PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE: 23 L/S (50 CFM) INTERMITTENT, 14 L/S (30 CFM) CONTINUOUS

REFER TO GENERAL NOTES

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- 2" X 6" EXTERIOR & INTERIOR
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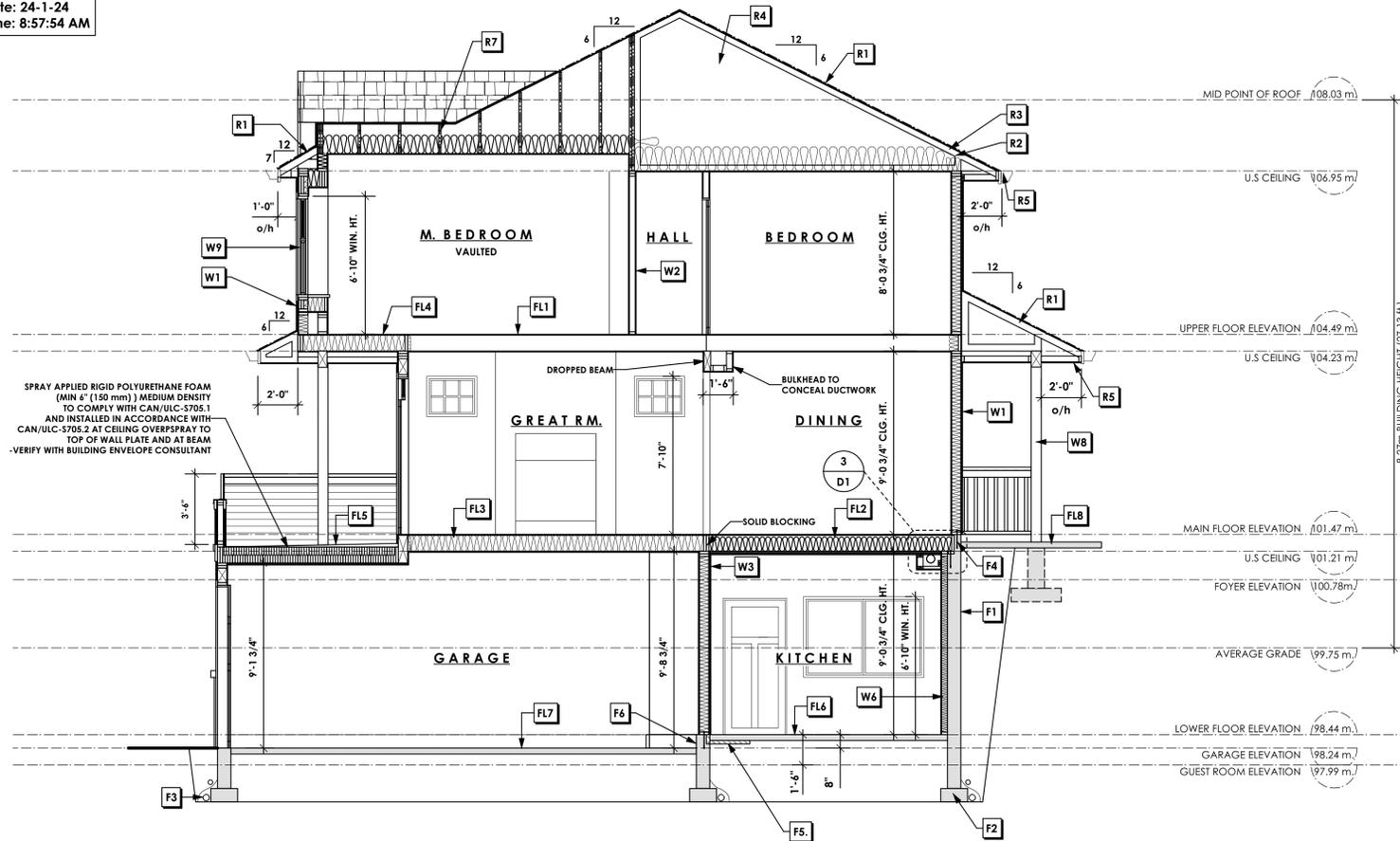


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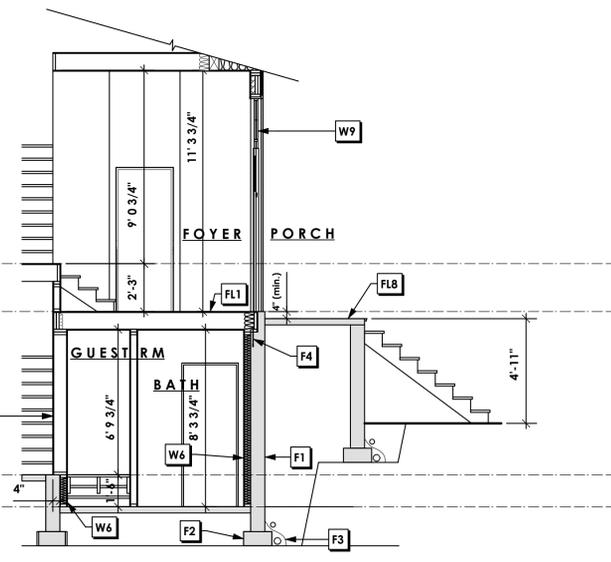
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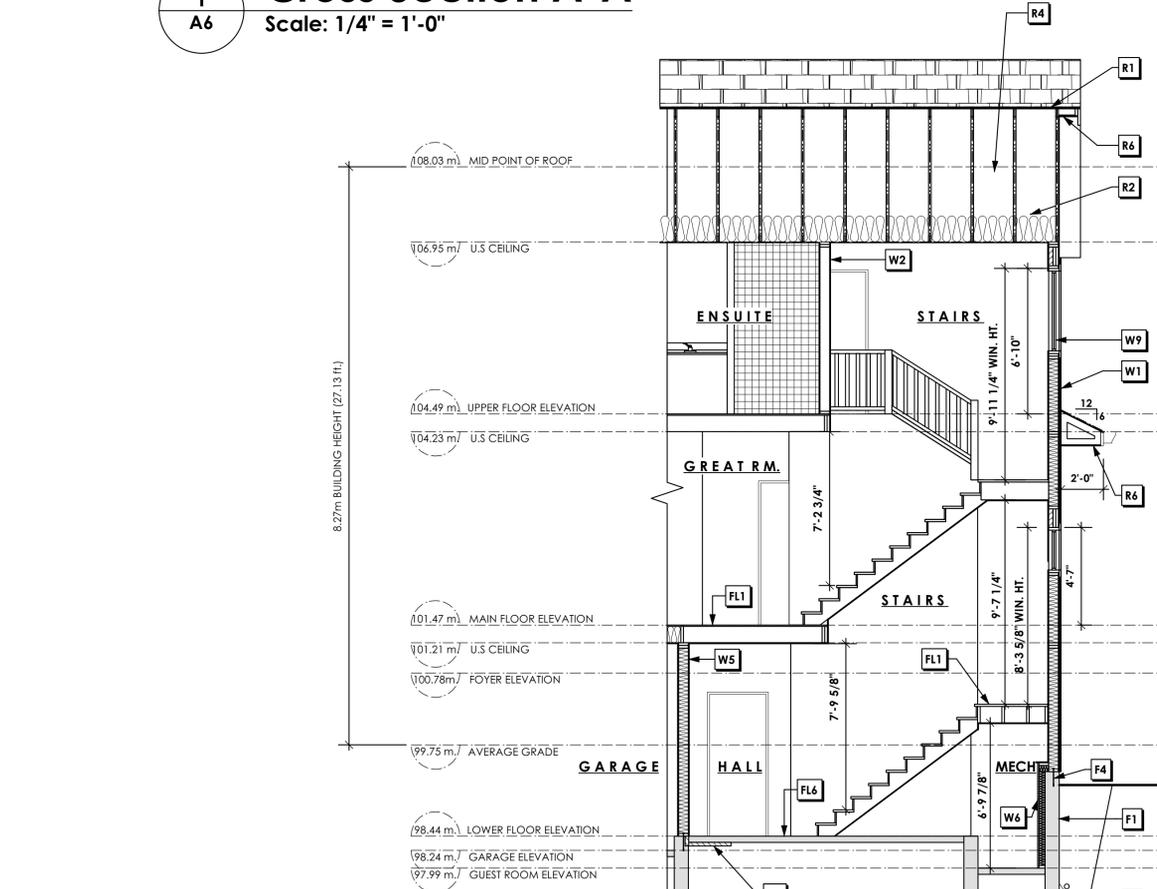
1
A6 **Cross Section A-A**
Scale: 1/4" = 1'-0"



2
A6 **Cross Section B-B**
Scale: 1/4" = 1'-0"

Walls

- W1. CONC. FIBRE SIDING (James Hardie or eq.) ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" ORIENTED STRAND BOARD 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (refer to details on D1)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" o/c OR 2x6 STUDS @ 16" o/c (if noted)
- W3. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.I.C. (BETWEEN SECONDARY SUITE & GARAGE)
- W4. B.C. BUILDING CODE (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATTS FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.I.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE) (NOT SHOWN IN SECTION)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL. POLYN V.B 1/2" GYPSUM BOARD (between garage & living)
- W6. FURRING WALL 1/2" GYPSUM BOARD ON 6 MIL. POLYN V.B. 2x4 STUDS @ 24" o/c c/w R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7mm (1/2") AIR SPACE (provide required firestops in wall assemblies to comply with B.C. Bldg. Code 9.10.16.)
- W7. PRE-MANUFACTURED STONE VENEER (installed to manuf. spec) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" PLYWOOD SHEATHING OR EQ. ON 2x4 STUDS @ 16" (as required) (not shown in section)
- W8. 6" X 6" POST ANCHORED TO 10" DIA CONC. PEDESTAL 30" X 30" X 10" CONC. PAD FTG c/w 4 - 15M REBAR BOTH WAYS ON SOLID UNDISTURBED BEARING
- W9. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" UNITEL OVER (at bearing walls only) (TYPICAL w/ 2 1/2" XPS insulation) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5.4.5 PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS"; LANGFORD, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.



3
A6 **Cross Section C-C**
Scale: 1/4" = 1'-0"

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD (NO INSULATION OVER UNCONDITIONED SPACE)
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-40 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FIN. ALUMINUM FASCIA GUTTER 2"x4" SUB. FASCIA BD. VENTED SOFFIT TO COMPLY W/ B.C. BLDG. CODE 9.10.15.5 (11) (verify material)
- R6. PROTECTED SOFFIT UNVENTED ALUMINUM SOFFIT TO COMPLY WITH B.C. BLDG. CODE 9.10.15.5 (11) (WHERE REQ'D)
- R7. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS SCISSOR TRUSSES (DESIGNED BY MANUF.) R-40 BATT. INSULATION 6 MIL. POLYN V.B. 5/8" GYPSUM BOARD

Floors

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. F9b RATED FLOOR ASSEMBLY (2012 BCBC table A-9.10.3.1.B) FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2"x10" FLOOR JOISTS @ 16" O/C C/W CROSS BRIDGING @ 82" O/C (min.) C/W R-28 F/G BATT INSULATION RESILIENT CHANNELS @ 16" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD FRR: 1.0 hr. STC: 52
- FL3. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-31 INSULATION: 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD (between garage and living space)
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W VENTED SOFFIT (to owners spec's) TO ALL SUSPENDED FLOOR AREAS
- FL5. DECKING MEMBRANE (to comply with CAN/CSB 37.54) ON 5/8" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2"x10" DECK JOISTS @ 12" OR 16" O/C SPRAY APPLIED RIGID POLYURETHANE FOAM (MIN 6" (150 mm)) MEDIUM DENSITY TO COMPLY WITH CAN/ULC-5705.1 AND INSTALLED IN ACCORDANCE WITH CAN/ULC-5705.2 (VERIFY WITH BUILDING ENVELOPE CONSULTANT) 5/8" X-TYPE GYPSUM BOARD (provide adequate membrane 'upstand' @ ext. wall.)
- FL6. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL7. 3 1/2" CONCRETE SLAB 6 MIL. POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL8. EXPOSED AGG. FIN. 3.5" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND (patio)

LIST OF DRAWINGS	
A1	General Notes
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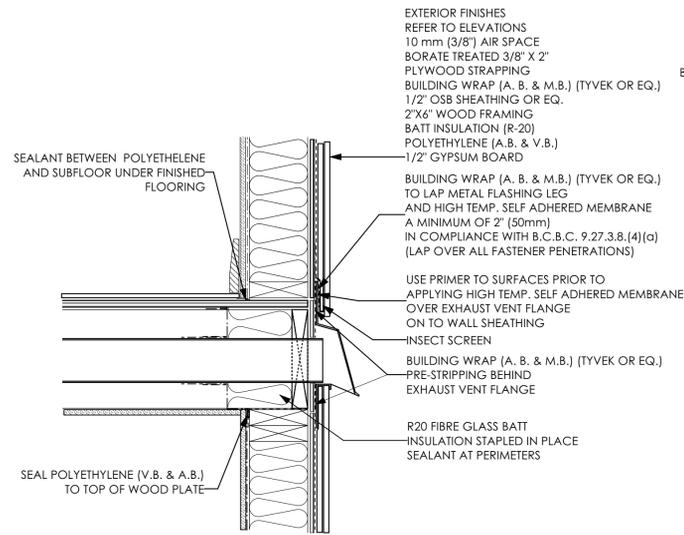
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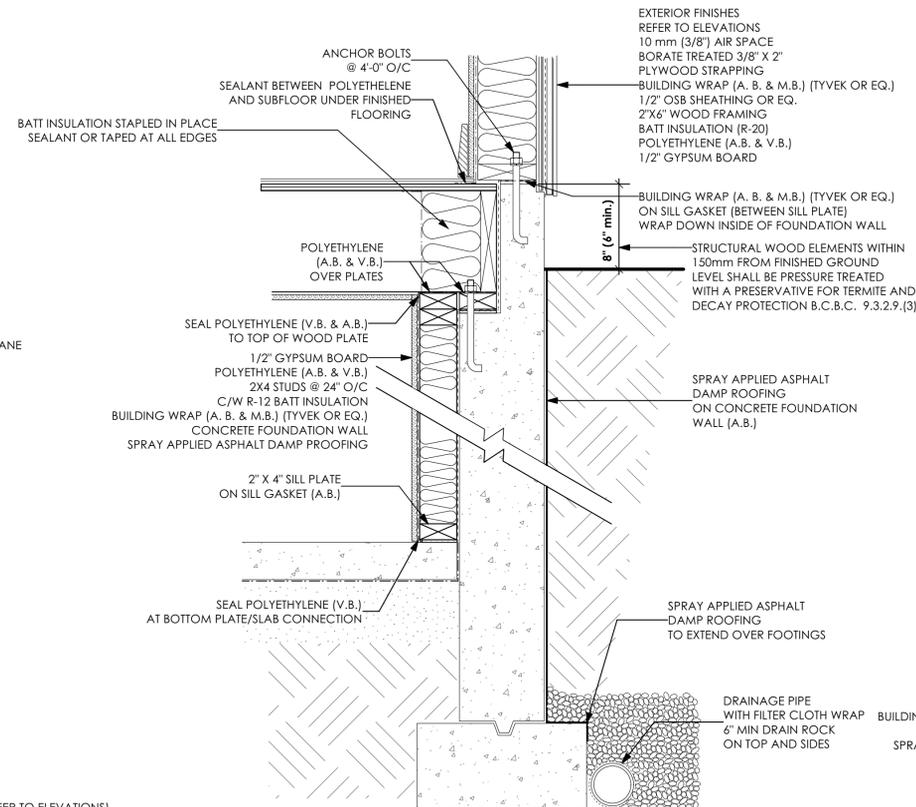
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SCALE	As Shown	SHT NO. A6 OF A6

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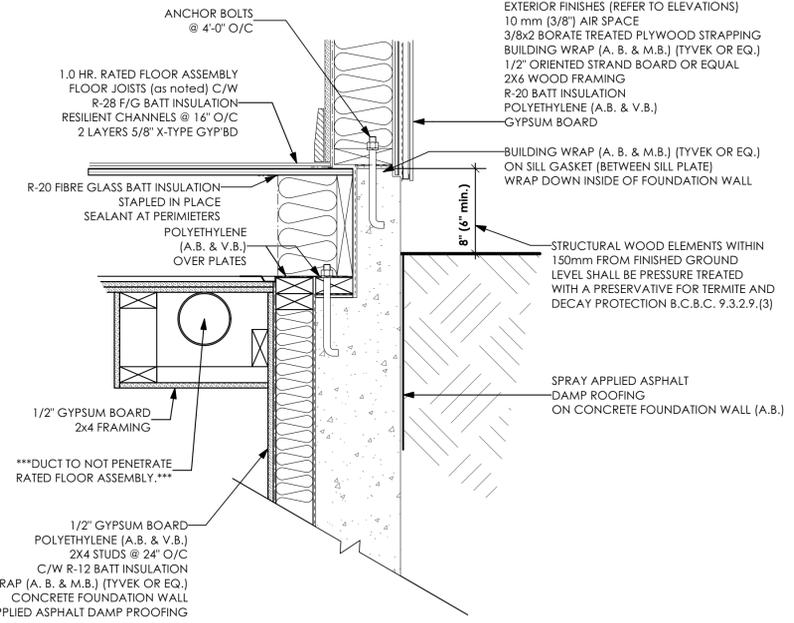
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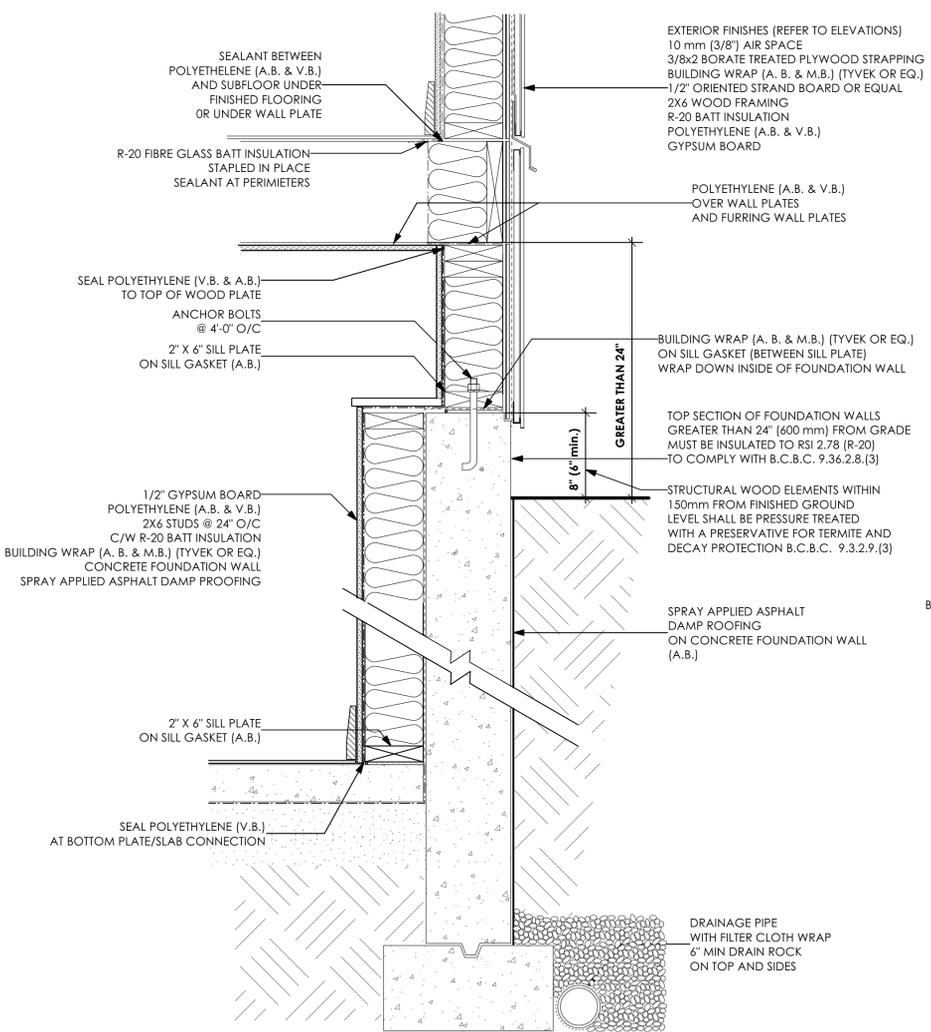
1 Wall Exhaust Vent
Scale: 1 1/2" = 1'-0"
D1 PRIMEX CAP (OR EQ.) REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



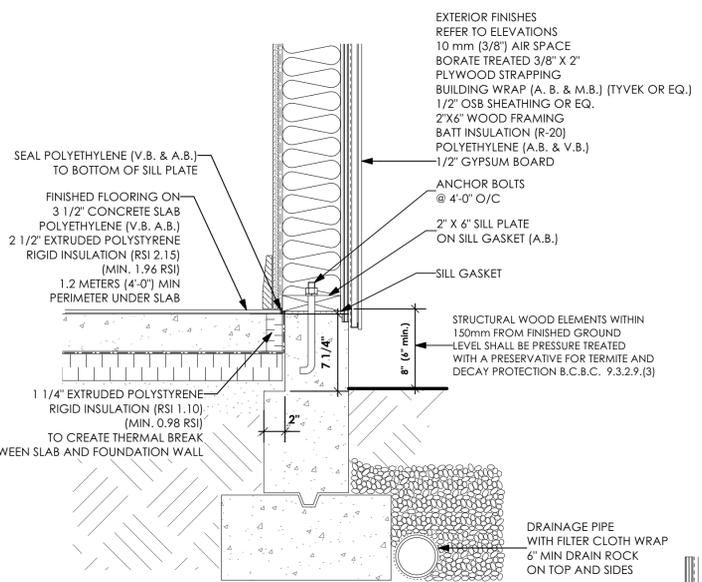
2 Concrete Joist Ledge
Scale: 1 1/2" = 1'-0"
D1



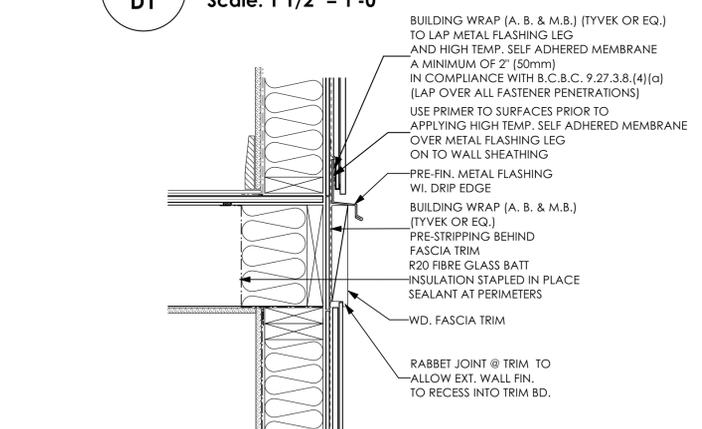
3 Bulk Head (Suite)
Scale: 1 1/2" = 1'-0"
D1



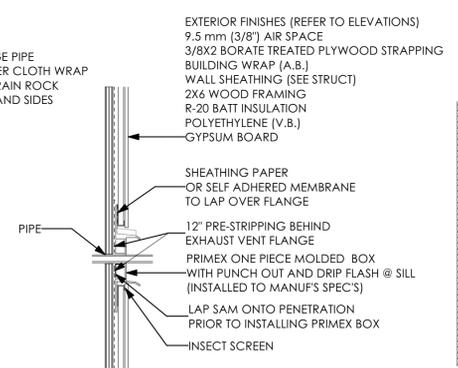
4 Basement Furring Wall
Scale: 1 1/2" = 1'-0"
D1



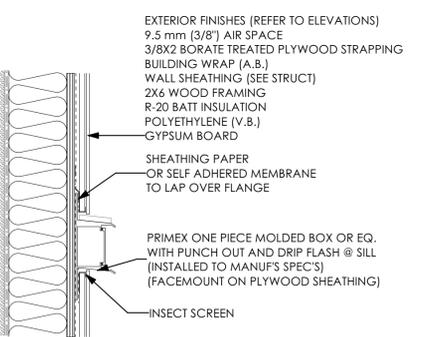
5 Slab on Grade
Scale: 1 1/2" = 1'-0"
D1



6 Trimmer Joist
Scale: 1 1/2" = 1'-0"
D1



7 Pipes
Scale: 1 1/2" = 1'-0"
D1 PRIMEX BOX REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



8 Electrical Fixtures
Scale: 1 1/2" = 1'-0"
D1 PRIMEX BOX REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION

LIST OF DRAWINGS	
A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation & Lower Floor
A5	Main & Upper Floors
A6	Cross-Section
D1	Details
D2	Details

ISSUED/REVISED		
01	01/24/24	Check Set for Client review

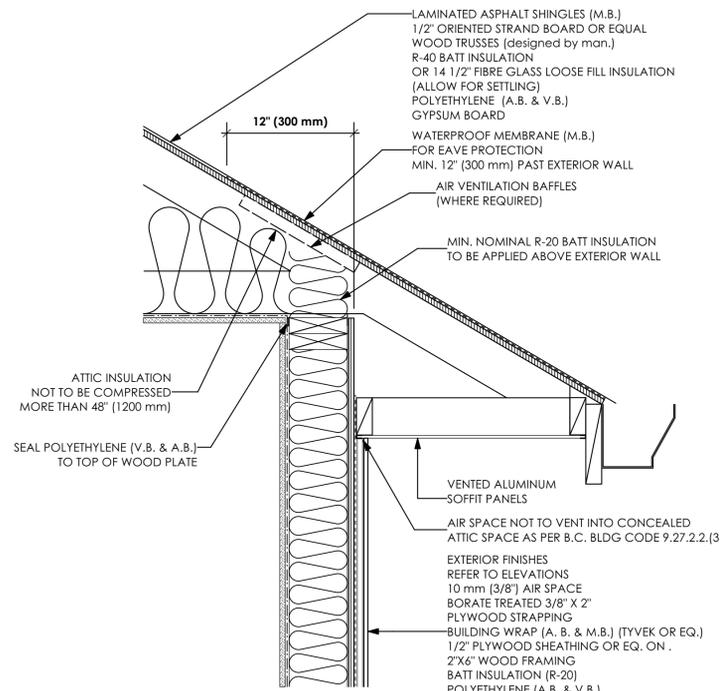


103 - 891 Attree Avenue
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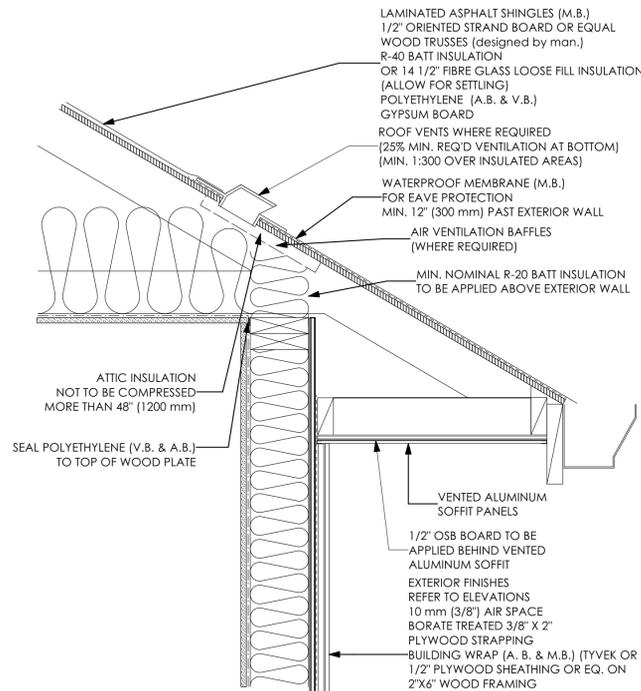
DATE	DRWG NO.
Jan 24, 2024	8524-30
DRAWN BY	REVIEWED BY
N.S.	
SCALE	SHT NO. OF
As Shown	D1 OF D2

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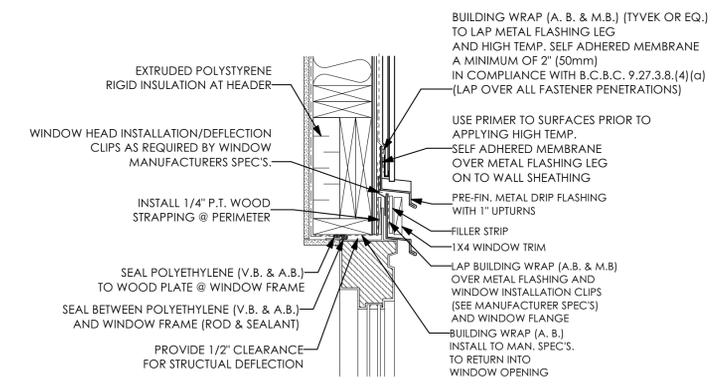
PROJECT
Proposed Residence:
Langdon Weir Construction Ltd.
Lot 30 'Richard'
1231 Ashmore Terr.
(Latoria Terrace)
Langford, B.C.



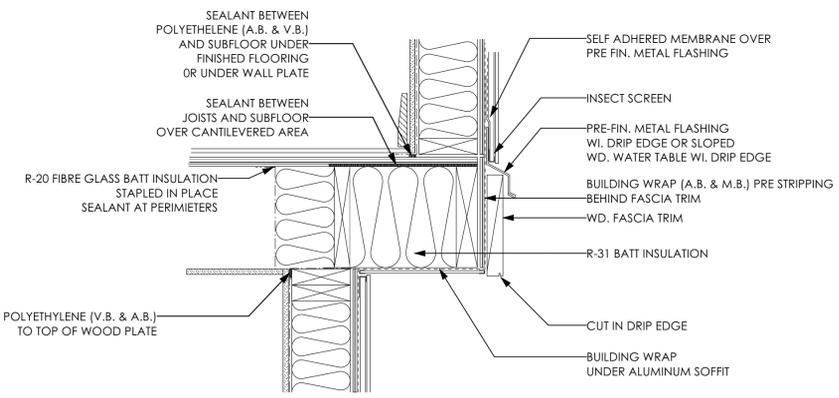
1
D2 **Water Shedding Roof / Wall**
Scale: 1 1/2" = 1'-0"



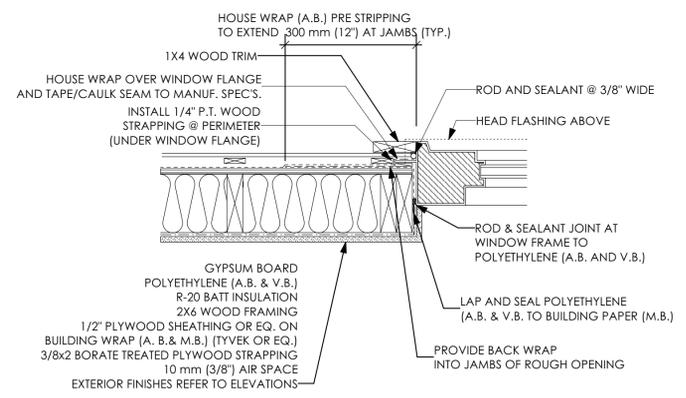
2
D2 **Soffit Protection**
Scale: 1 1/2" = 1'-0"
BC BUILDING CODE 9.10.15.5 (11)
(USE PROVIDED DETAIL WHEN ROOF OVERHANG IS WITHIN 1.20M OF PROPERTY LINE)



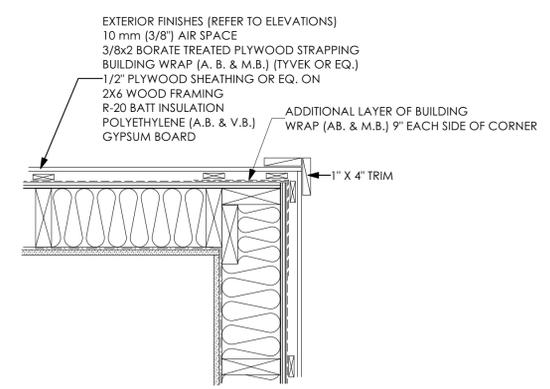
3
D2 **Window Head**
Scale: 1 1/2" = 1'-0"



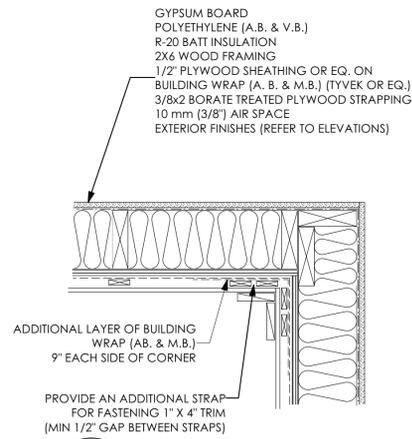
4
D2 **Cantilevered Floor**
Scale: 1 1/2" = 1'-0"



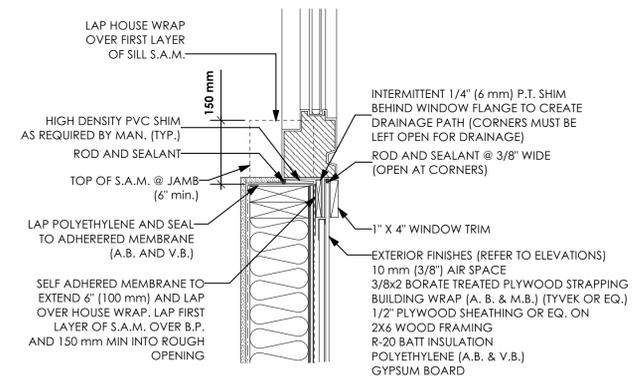
5
D2 **Window Jamb**
Scale: 1 1/2" = 1'-0"



6
D2 **Exterior Corner**
Scale: 1 1/2" = 1'-0"



7
D2 **Interior Corner**
Scale: 1 1/2" = 1'-0"



8
D2 **Window Sill**
Scale: 1 1/2" = 1'-0"

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01	01/24/24	Check Set for Client review



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DRAWN BY	N.S.	REVIEWED BY	
SCALE	As Shown	SHT NO.	D2 OF D2

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